

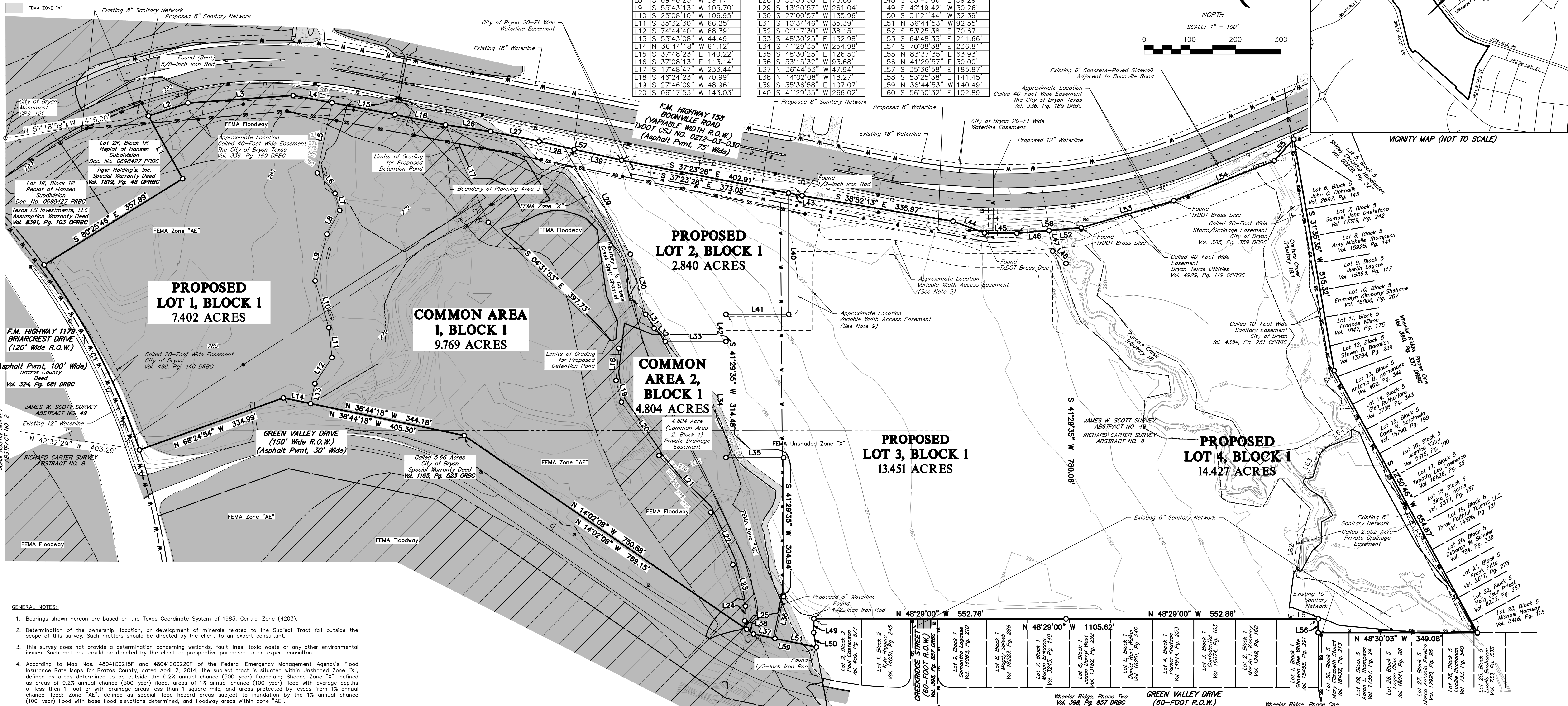
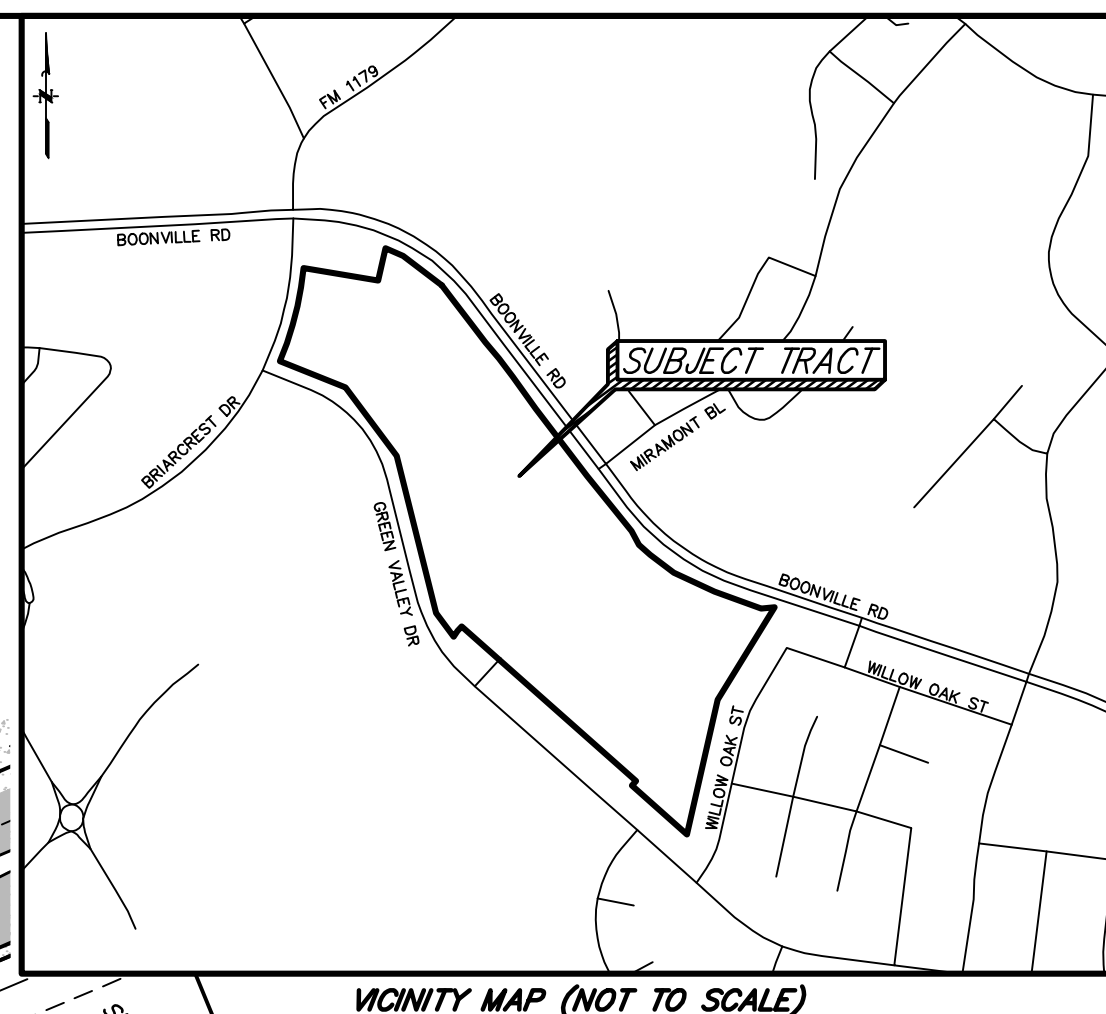
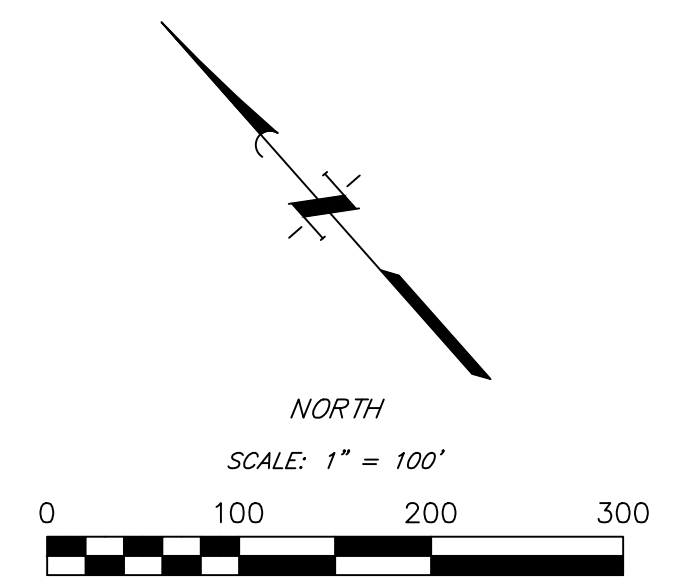
LEGEND:
 DRBC DEED RECORDS OF BRAZOS COUNTY
 "Kerr" 1/2-INCH IRON ROD WITH CAP STAMPED "KERR"
 ORBC OFFICIAL RECORDS OF BRAZOS COUNTY
 PRBC SET 5/8-INCH IRON ROD WITH CAP STAMPED "QUIDDITY ENG" (UNLESS OTHERWISE NOTED)

ADJONER LINE
 APPROXIMATE SURVEY LINE
 BOUNDARY
 EASEMENT
 FEMA BASE FLOOD ELEVATION

FEMA ZONE "AE"
 FEMA FLOODWAY WITHIN ZONE "AE"
 FEMA ZONE "X"

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1492.51	458.31	17°35'38"	N 14°11'24" E	456.51'

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 12°56'44" E	156.61'	L21	S 00°50'45" E	168.76'	L41	N 48°30'25" W	137.50'	L61	N 48°29'00" W	66.14'
L2	S 66°40'18" E	91.03'	L22	S 18°38'59" W	124.75'	L42	S 41°29'35" W	59.50'	L62	N 47°52'27" E	130.31'
L3	S 52°36'39" E	230.99'	L23	S 24°44'16" W	94.98'	L43	S 37°23'28" E	29.87'	L63	N 70°49'04" E	76.53'
L4	S 37°49'05" E	86.92'	L24	S 43°38'56" W	32.30'	L44	S 28°15'36" E	73.41'	L64	S 82°54'53" E	111.22'
L5	S 53°24'02" W	157.09'	L25	S 29°59'52" W	118.91'	L45	S 47°48'09" E	70.88'	L65	S 12°50'46" W	1526.06'
L6	S 00°25'30" W	59.30'	L26	S 40°01'50" E	100.14'	L46	S 53°25'38" E	70.78'			
L7	S 26°16'20" W	38.84'	L27	S 37°06'21" E	108.12'	L47	S 31°01'45" W	45.92'			
L8	S 69°40'25" W	59.17'	L28	S 35°36'58" E	78.80'	L48	S 05°45'06" E	39.29'			
L9	S 55°43'13" W	105.70'	L29	S 13°20'57" W	261.04'	L49	S 42°19'42" W	30.26'			
L10	S 25°08'10" W	106.95'	L30	S 27°00'57" W	135.96'	L50	S 31°21'44" W	32.39'			
L11	S 35°32'30" W	66.25'	L31	S 10°34'46" W	35.39'	L51	N 36°44'53" E	92.55'			
L12	S 74°44'40" W	68.39'	L32	S 01°17'30" W	38.15'	L52	S 53°25'38" E	70.67'			
L13	S 53°43'08" W	44.49'	L33	S 48°30'25" E	132.98'	L53	S 64°48'33" E	211.66'			
L14	N 36°44'18" W	61.12'	L34	S 41°29'35" W	254.98'	L54	S 70°08'38" E	236.81'			
L15	S 37°48'23" E	140.22'	L35	S 48°30'25" E	126.50'	L55	N 83°37'36" E	63.93'			
L16	S 37°08'13" E	113.14'	L36	S 53°15'32" W	93.68'	L56	N 41°29'57" E	30.00'			
L17	S 17°48'47" W	233.44'	L37	N 36°44'53" W	47.94'	L57	S 35°36'58" E	185.87'			
L18	S 46°24'23" W	70.99'	L38	N 14°02'08" W	18.27'	L58	S 53°25'38" E	141.45'			
L19	S 27°46'09" W	48.96'	L39	S 35°36'58" E	107.07'	L59	N 36°44'53" W	140.49'			
L20	S 06°17'53" W	143.03'	L40	S 41°29'35" W	266.02'	L60	S 56°50'32" E	102.89'			



PROPOSED LOT 1, BLOCK 1
 7402 ACRES

COMMON AREA 1, BLOCK 1
 9.769 ACRES

COMMON AREA 2, BLOCK 1
 4.804 ACRES

PROPOSED LOT 3, BLOCK 1
 13451 ACRES

PROPOSED LOT 4, BLOCK 1
 14427 ACRES

Minimum Slab Elevation	
Lot 1	281.0'
Lot 2 & Lot 3	280.0'
Lot 4	288.0'

- GENERAL NOTES:**
- Bearings shown hereon are based on the Texas Coordinate System of 1983, Central Zone (4203).
 - Determination of the ownership, location, or development of minerals related to the Subject Tract fall outside the scope of this survey. Such matters should be directed by the client to an expert consultant.
 - This survey does not provide a determination concerning wetlands, fault lines, toxic waste or any other environmental issues. Such matters should be directed by the client or prospective purchaser to an expert consultant.
 - According to Map Nos. 48041C00215F and 48041C00220F of the Federal Emergency Management Agency's Flood Insurance Rate Maps for Brazos County, dated April 2, 2014, the subject tract is situated within Unshaded Zone "X", defined as areas determined to be outside the 0.2% annual chance (500-year) floodplain; Shaded Zone "X", defined as areas of 0.2% annual chance (500-year) flood, areas of 1% annual chance (100-year) flood with average depths of less than 1-foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance floods; Zone "AE", defined as special flood hazard areas subject to inundation by the 1% annual chance (100-year) flood with base flood elevations determined, and floodway areas within zone "AE".
 - This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
 - The location of the flood zone lines shown hereon were determined by scaling from said FIRM map. The actual location as determined by elevation contours may differ. Quiddity assumes no liability as to the accuracy of the location of the flood zone limits.
 - This survey was prepared with the benefit of the following title commitments: Commitment for Title Insurance issued by Fidelity National Title Insurance Company, countersigned by Charter Title Company, GF No. CH-7655-1076552100219-SA, having an effective date of August 15, 2021 and an issue date of August 26, 2021 (M.D. Wheeler, LTD Tract); Commitment for Title Insurance issued by Fidelity National Title Insurance Company, countersigned by Charter Title Company, GF No. CH-7655-1076552100220-SA, having an effective date of August 3, 2021 and an issue date of August 11, 2021 (The Summit Crossing, LLC Tract), and Commitment for Title Insurance issued by Old Republic National Title Insurance Company, GF No. 22007552, having an effective date of January 31, 2023 and an issue date of March 2, 2023 (Lot 6, Block 1 Tract). No further research for easements or encumbrances was performed by Quiddity.
 - This property is zoned Planned Development - Mixed Use District (PD-M) approved by the Bryan City Council on November 17, 2022, Ordinance no. 2598.
 - All minimum building setbacks shall be in accordance with the City of Bryan Code of Ordinances.
 - No lot shall take access from Creekridge Street.
 - Access easement for Lot 2 through Lot 3, shall follow the entrance aisle within Lot 3 at Boonville Rd. and Miramont Dr. to the intersection of an internal aisle and then turn northwest to the common boundary line of Lots 2 and 3. Access easement for Lot 4 through Lot 3, shall begin at the exit driveway of Lot 4 to the drive aisle then along said drive aisle north and west to the traffic signal entrance of Lot 4.
 - Drainage Facility maintenance for Common Area 1 shall be provided by Summit Crossing, LLC, or subsequent property owner. Drainage Facility maintenance for Common Area 2 shall be provided by Boonville Center, LLC, or subsequent property owner. Drainage Facility maintenance for Lot 4 shall be by the property owner.

PRELIMINARY PLAN
OF THE
TRAFALGAR SUBDIVISION
LOTS 1-4 AND
COMMON AREAS 1 & 2, BLOCK 1
BEING
52,693 ACRES
OUT OF THE
RICHARD CARTER SURVEY, A-8
AND
JAMES W. SCOTT SURVEY, A-49
CITY OF BRYAN, BRAZOS COUNTY, TEXAS
SEPTEMBER 2023

THIS IS A PRELIMINARY DOCUMENT AND SHALL NOT BE RECORDED FOR ANY PURPOSES AND SHALL NOT BE VIEWED OR RELIED UPON AS A FINAL DOCUMENT

SURVEYED: DECEMBER 7, 2022

OWNER: The Summit Crossing, LLC.
 729 S. Rosemary Dr.
 Bryan, TX 77802

M. D. Wheeler, LTD.
 1919 Whitney St.
 Houston, TX 77006

SURVEYOR: Quiddity
 150 Venture Drive, Suite 100
 College Station, Texas 77845

